

**AMENDMENT TO THE DESIGN GUIDELINES
FOR
KINDERLOU FOREST**

This Amendment is adopted by Kinderlou Forest Development, LLC, a Georgia limited liability company ("**Founder**"), as of the 15th day of January, 2015.

BACKGROUND STATEMENT

On April 12, 2004, Founder filed that certain Community Charter for Kinderlou Forest, which was recorded in Deed Book 2830, Page 137, *et seq.*, in the Office of the Clerk of the Superior Court of Lowndes County, Georgia (as amended and supplemented, the "Charter"). The Charter establishes various covenants, conditions, restrictions and obligations with respect to such property, including requirements for architectural review.

Pursuant to Section 5.3(a) of the Charter, the Founder adopted the initial Design Guidelines for Kinderlou Forest and reserved the sole and full authority to amend the Design Guidelines until the later of (i) the expiration of the Development and Sale Period, as defined in the Charter; or (ii) such time as all Units planned for the property described on Exhibits "A" and "B" of the Charter have been improved with dwellings that are substantially complete and occupied or ready for occupancy. Such authority remains in effect and the Founder now desires to amend and restate the Design Guidelines to incorporate various changes, which changes shall apply to all construction commenced after the effective date hereof.

STATEMENT OF AMENDMENT

The Design Guidelines are hereby amended and restated as set forth in the attached Design Guidelines for Kinderlou Forest – Revision 3.

ADOPTED and effective as of the date first set forth above.

FOUNDER: KINDERLOU FOREST DEVELOPMENT,
LLC, a Georgia limited liability company

By: _____
Name: _____
Its: _____

By: _____
Name: _____
Its: _____

**Design Guidelines
for Single-Family Residences in**

KINDERLOU FOREST

**Kinderlou Forest Development, LLC
P.O. Box 3367
Valdosta, Georgia 31604**

**Revision 3
Effective January 15, 2015**

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Introduction

Background

Kinderlou Forest is a master planned community located in Lowndes County, Georgia. The homes and home sites within Kinderlou Forest are subject to the Community Charter for Kinderlou Forest (the "**Community Charter**"), which provides for standards of architecture, maintenance, use and conduct in order to preserve and enhance the overall community. The Community Charter establishes Kinderlou Forest Community Association, Inc., a Georgia nonprofit corporation whose members include all property owners in Kinderlou Forest (the "**Association**"), as the entity primarily responsible for administering the Community Charter and the standards of maintenance, architecture, conduct, and use established pursuant to the Community Charter.

Purpose

Chapter 5 of the Community Charter establishes procedures for application and review of plans for new construction and modifications to existing homes and lots within Kinderlou Forest. Kinderlou Forest Development, LLC ("**Founder**"), as the developer of Kinderlou Forest, has established these Design Guidelines for Kinderlou Forest ("**Design Guidelines**") to provide guidance to Owners and their contractors in planning new construction, modifications and improvements to structures and landscaping for single family residences in Kinderlou Forest. These Design Guidelines are intended to facilitate the review process, but are not the sole basis for decisions on architectural and aesthetic matters. Compliance with these Design Guidelines does not guarantee approval.

Governmental Requirements

To the extent that any local government ordinance, building code or regulation imposes a more restrictive standard than the standards set forth in the Community Charter or these Design Guidelines, the local government standard shall control. To the extent that any local government standard is less restrictive, the Community Charter and these Design Guidelines (in that order) shall control.

Interpretation

In the event of a conflict between these Design Guidelines and the Community Charter, the Community Charter shall control. Capitalized terms used in these Design Guidelines and not otherwise defined in this document shall have the same meaning as set forth in the Community Charter.

Amendments

The Founder may amend these Design Guidelines as long as it has any reviewing authority under the Community Charter. Thereafter, the Design Review Committee appointed by the Association's Board of Directors ("**DRC**") may amend them. Amendments shall not apply retroactively so as to require modification or removal of work already approved and completed or in progress. It is the responsibility of owners to ensure that they have the most current edition of these Design Guidelines.

Architectural Review Process

Objective

The objective of the review process is to promote aesthetic harmony in the community by providing for compatibility of specific designs with surrounding buildings, the environment and the topography. The review process strives to maintain objectivity and sensitivity to the individual aspects of design.

Review Authority

Architectural control and design review is handled by either (i) the Founder or its designee, or (ii) the Design Review Committee appointed by the Association's Board. The Founder has exclusive authority over architectural review in Kinderlou Forest during the Development and Sale Period, as defined in the Community Charter, and until all lots planned for the community have been improved with dwellings for which a certificate of occupancy has been issued. The Founder may delegate authority over certain aspects of review to the DRC, and either of them may use architects, engineers, or other professionals to assist in such review. The term "**Reviewer**," as used in these Design Guidelines, refers to the entity responsible for review of a particular matter pursuant to the Community Charter.

Approval Requirement

Unless otherwise specifically stated in Chapter 5 of the Community Charter or these Design Guidelines, all plans and materials for new construction, landscaping or exterior modifications to homes or landscaping must have prior approval. Where these Design Guidelines specifically allow an Owner to proceed without prior approval, such allowance shall only be effective so long as the Owner complies with the requirements of the applicable guideline.

Plans submitted to the Reviewer must comply with all applicable building codes, zoning regulations and the requirements of all agencies and municipalities having jurisdiction over the project. It is the responsibility of the Applicant to obtain all necessary permits, inspections. Regulatory approvals do not substitute for review and approval hereunder, and vice versa.

Submittals

Requests for approval of proposed construction, landscaping, or exterior modifications must be made by submitting an application in the form available from the Reviewer.

Applications for approval of work other than color changes must be accompanied by the following, as applicable:

Site Plan

- Drawn to scale with scale indicated
- Showing property lines and setback lines (front, rear and side)
- Identifying adjacent streets
- Showing house location on site and dimensions of "footprint" of house
- Showing drives, walks, decks, pools, patios, etc.
- Showing location and dimensions of proposed improvements

Floor Plan

Drawn to ¼" scale and fully dimensioned
Including door and window schedule

Exterior Elevations

Drawn to ¼" scale
Including front, rear, left side, and right side elevations and other elevations as required
Showing existing and finish grades on elevations
Showing roof pitch
Drawing and identifying all building materials (brick, siding, stone)
Showing meter base and air conditioning condensing units on drawings (floor plan and exterior elevations)

Details

Typical wall sections minimum scale 1"=1'0"
Column details
Window and door details
Cornice details
Color photos may be submitted in lieu of details

Landscaping

Drawn to scale with scale indicated
Identifying size and location of all trees and plants
Providing tree and plant list
Showing drives, walks, decks, pools, patios, etc.
Note: Until submittal and approval of landscape plan, contractor may only clear trees within 20' of the approved location of the exterior walls of the house

Color samples and photographs assist the Reviewer in rendering its decision and expedite the review process. The Reviewer may require the submission of such additional information as may be reasonably necessary to consider any application.

Timing

An application must be received at least 2 working days prior to the Reviewer's committee meeting in order to be placed on the agenda for such meeting. Design review meetings are generally held on Thursday at 1:00 P.M. All submittals must be received by Tuesday, 12:00 P.M. in order to be placed on the agenda for such meeting.

The timing of review of applications and notification of applicants shall be conducted as described in Chapter 5 of the Community Charter.

Responsibility for Compliance

An applicant is responsible for ensuring that all of the applicant's representatives, including the applicant's architect, engineer, contractors, subcontractors, and their agents and employees, are aware of these Design Guidelines and all requirements imposed by the Reviewer as a condition of approval.

Inspection

Upon completion of all approved work, the Owner is responsible for notifying the Reviewer and scheduling an inspection to verify conformance with the approved submittal. Site inspections shall be scheduled a minimum of five business days in advance of the desired inspection date.

Architectural and Aesthetic Standards

Building Setbacks

Building setbacks from front property lines vary from lot to lot. The following minimum setbacks shall be observed, unless a different setback is noted on the recorded subdivision plat depicting the lot, in which case the setback as shown on the plat shall be observed:

Section	Front Setback	Side Setback	Rear Setback
1A	120'	15'	20'
1B	80'	15'	20'
2	35'	10'	20'
3	40'	15'	20'
4&5	20'	5'	20'
7A & 7B	35'	10'	20'

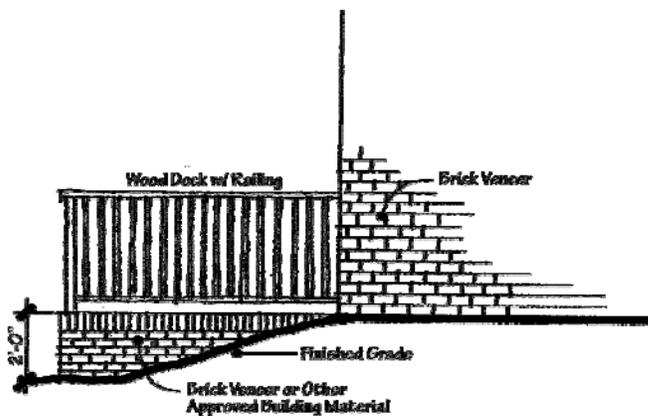
Residential structures and garages may not encroach into utility easements.

Structures other than pools, decks and gazebos are not allowed beyond the rear setback on lots that are adjacent to the golf course.

Decks

All decks must be constructed, with prior approval from the Reviewer, such that they are compatible with the residence. When considering the relationship of a deck to a neighboring lot, decks shall be constructed no closer than 10 feet from the adjoining lot. When considering the relationship of a deck with a common area, decks shall be constructed no closer than 5 feet to the common area.

Unless a deck is a second story deck and the wall below the deck has windows or is 100%



finished, any wood deck having an exposed area below the deck greater than 2 feet in height shall be skirted with materials like those used on the house, lattice, or other decorative screening. Lattice panels shall have a minimum thickness of 3/8-inch and be framed.

For any deck that is not required to be skirted, deck support structures shall be designed to be as aesthetically pleasing as possible.

Decks may be waterproofed, sealed or stained a natural wood color without the necessity of submitting an application or obtaining prior Reviewer approval. If the choice of color of the stain is not natural to wood, Reviewer approval must be obtained prior to applying such stain.

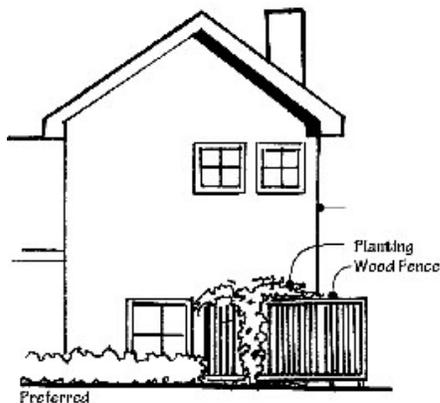
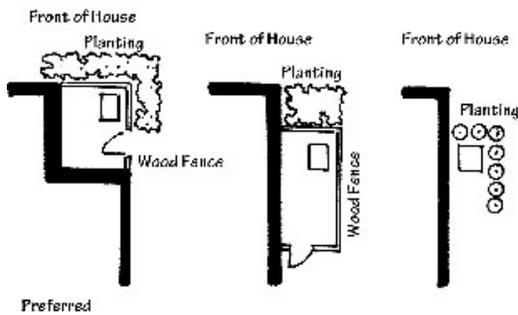
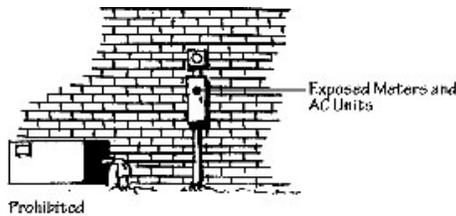
Man made screens and shade devices, if any, must appear as an integral part of the building elevation and must be made of materials that complement the home and Neighborhood. Conversion of a deck or patio into a screened porch requires Reviewer approval.

Drainage

No one other than the Founder or the Association shall alter the natural established drainage on any lot in a manner that increases the drainage of storm water onto any adjacent property without consent of the owner(s) of the affected property and the Reviewer. All drainage shall be routed so as to avoid damage to or erosion of adjacent property.

When additions, alterations, or renovations are performed to an existing residence, the lot drainage shall not be altered without submission of a new drainage plan and written approval of such plan by the Reviewer.

All new or altered roofs shall drain to the ground solely within the deeded lot area. A roof shall not drain directly onto a neighboring property.



Equipment Location and Screening

Where practical, all exterior meters, air conditioning units, pool or spa filtration, and ground-mounted mechanical equipment, etc. shall be located in a side or rear yard and must be screened from street view and neighboring property by landscaping or by material and color compatible with the design of the residence. Screening other than landscaping shall not be of a height greater than 4 feet above natural grade of the lot. All screens, whether landscape, structures, walls, or plant materials, shall be located to allow a minimum of 2 feet of clearance from the equipment, but may not encroach or trespass on a neighboring lot without such neighboring owner's written approval.

Shrubs or vines shall be placed in front of screens. Hedges may be used for screens if plants are mature enough and spaced close enough to provide adequate screening at the time of planting. Staggered spacing of shrubs for hedges makes a good screen.

Extreme care shall be taken in location of condensers to avoid noise infiltration to nearby bedrooms and other "quiet" zones. Sound

insulating material may be required for added equipment such as pool pumps and heaters.

In absence of complete yard fencing, meters, air conditioner, pool pumps, etc. shall be screened from view. Where possible, design should include niches or offsets in which to tuck mechanical equipment.

Pipes or equipment attached to the side of the home shall be painted the same color as the walls. Roof pipes shall be painted the same color as the roof.

On corner lots, every effort should be made to place air conditioners, pool pumps, etc in the rear yard.

No window air-conditioning units or window fans shall be permitted.

Exterior Materials and Colors

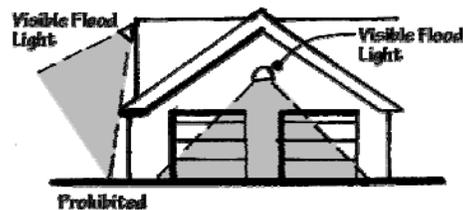
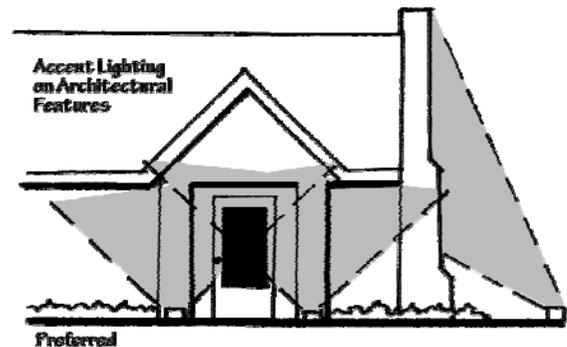
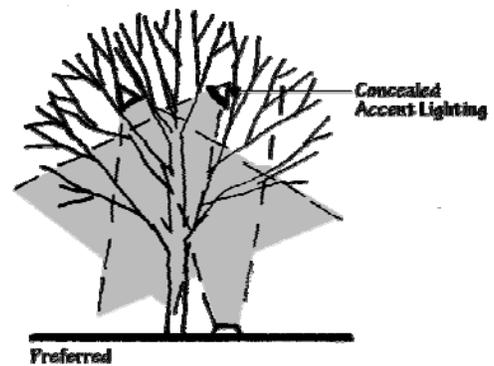
Exterior façades of houses shall be brick, stucco, cement siding, or wood siding. Eaves and soffits shall consist of cement siding or pressure-treated wood.

Windows shall be aluminum clad or wood frame, except that in Phases IV, V-B and Phase V-C, VII-A and VII-B, vinyl windows shall also be permitted with prior approval. Moss Supply Company's Builders-Plus Series 1846 and PGT Industries' 2100 Series vinyl windows are generally acceptable models, although others will be considered.

Repainting or staining to match original colors does not require prior approval. Color chips and siding samples are to be submitted to the Reviewer for approval prior to changing colors.

Primary colors for siding, stucco and trim must be confined to earth tones, which are compatible with the natural environment. Stucco and synthetic stucco must be painted or integrally colored. Colors for windows, doors, louvers, gutters, and downspouts must be compatible with primary and trim colors.

Exterior colors for single-family houses shall blend with and relate to the colors of other houses in the immediate areas. Color changes apply not only to the house siding, but also to doors, shutters, trim, roofing and other appurtenant structures. Colors that the Reviewer determines to be garish, or offensively or distressingly bright, or tastelessly showy, will not be approved.



Exterior Lighting

Exterior lighting shall be installed in a manner that will not cause unnecessary light spill distraction, nuisance or be unsightly. All flood lights must be shielded and match soffit color.

Exterior residential lighting can convey a warm, inviting atmosphere and aid in providing nighttime security without annoying others. Selection and placement of fixtures, and selection of light source types, should be done with care. Exterior illumination of architectural features such as columns, entries, chimneys and landscape features are encouraged.

Lights should be directed to illuminate house number graphics. Ground lighting or decorative light fixtures are acceptable. Decorative fixtures shall be of high quality materials and workmanship and shall be in scale and style with the residence.

High-pressure sodium lights, except for subdivision streetlights, are prohibited.

Mercury vapor security lights, when the fixture is visible from public view or from other lots, are prohibited. Mercury vapor lights, when used for special landscape lighting affect, (hung in trees as up and down lights) are permissible with Reviewer approval.

Colored lenses on low voltage lights, colored light bulbs, fluorescent and neon lighting are not permissible.

Incandescent, low voltage incandescent, metal halide, quartz and natural gas lights are acceptable.

Lighting may not be installed on the privacy fence or patio/pool fence.

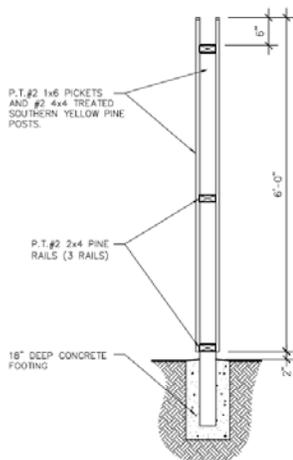
Fences

Fencing Materials

Fences shall be constructed of wood, metal or masonry. Note: some areas require a specific type of fence. Diagonal and horizontal fencing is prohibited. Chain link fencing is prohibited. Fencing is not permitted in front yards.

Gates, if installed, shall be designed to be compatible and complimentary to the fence design.

Wood Fences

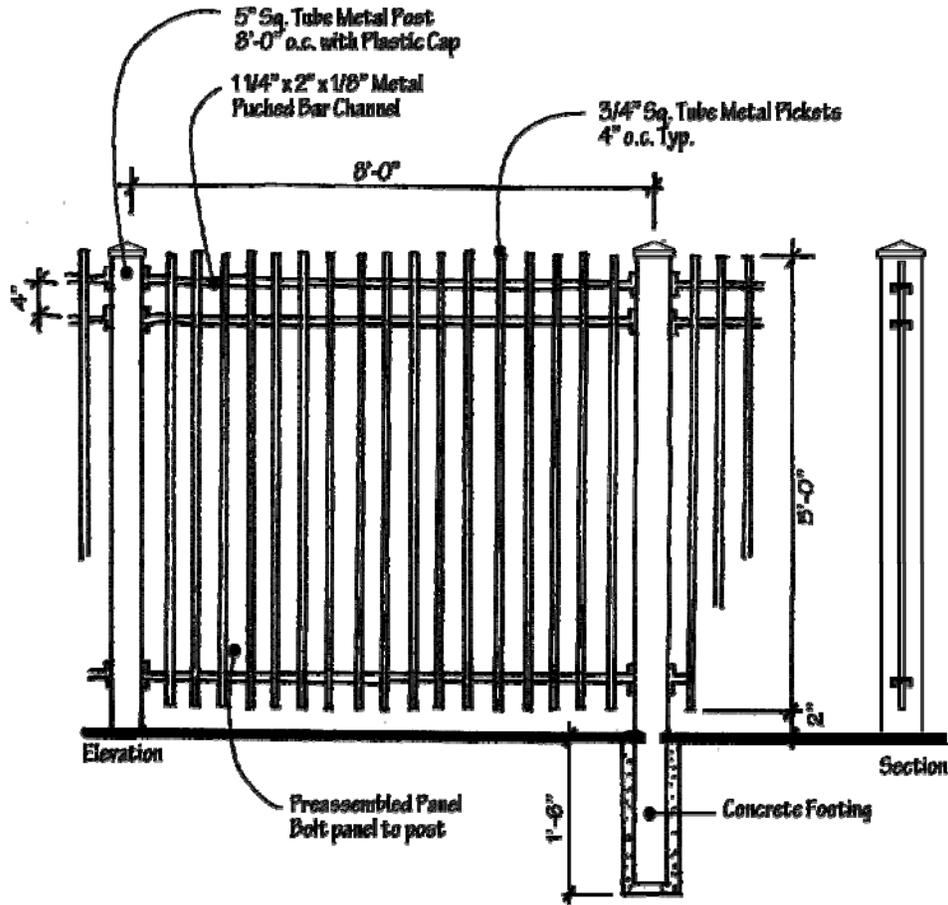


All wood fences are to be shadow box type constructed with #2 1" x 6" pickets and #2 treated southern yellow pine posts and three rails. Pickets are to be attached with 8-penny aluminum screw shank nails, on a string line guide. No used material is allowed.

Fences are to be kept in good repair. Clear sealing or staining of fences is required.

Metal Fences

Metal fences are to be installed as illustrated below. Panels bolted instead of welded to posts are recommended for ease of maintenance. Metal shall be primed and painted semi-gloss black. Pilasters to match exterior finishes of the home are acceptable. Metal posts shall be set in concrete footings.

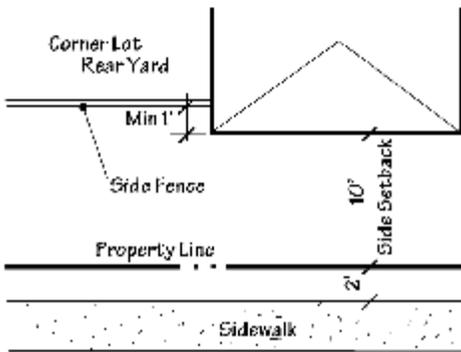
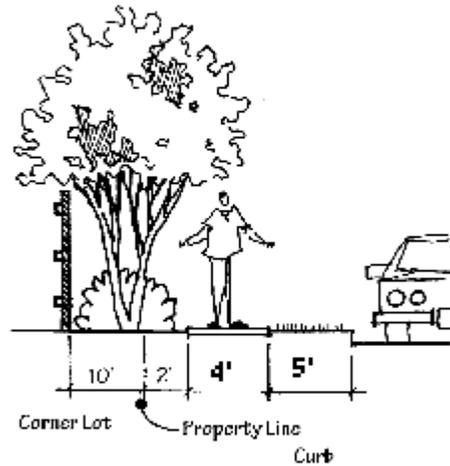
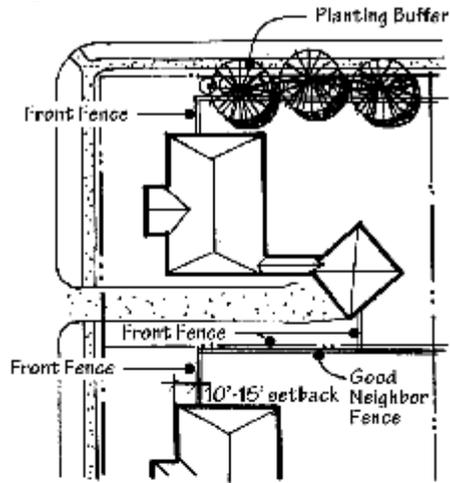


Fencing Setback

A minimum fence setback of 10 feet and a maximum of 15 feet from the front face of the house is required. A minimum side fence setback of 12 feet from sidewalks, cart paths, or back of curb, whichever is closer, is required on corner lots for a planting buffer.

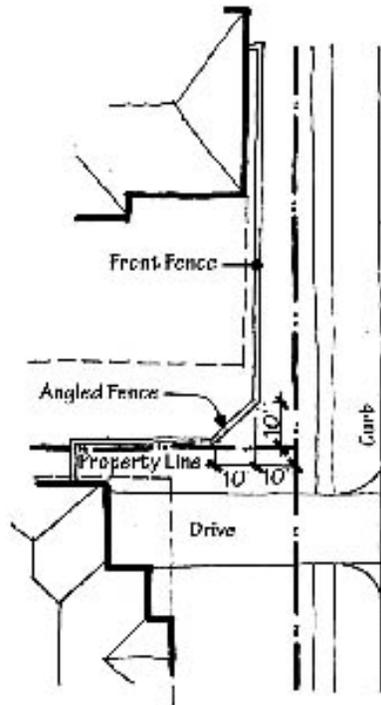
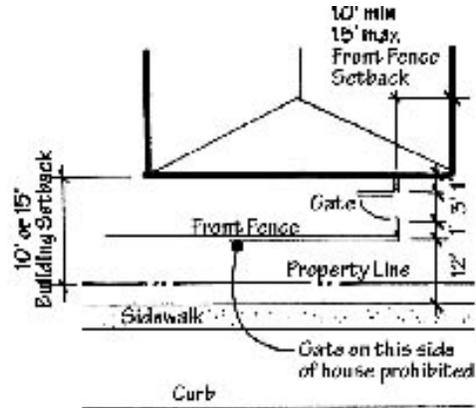
Fences more than 30 feet long require a planting buffer.

Fencing on Corner Lots



Where there is a side setback of 10 feet on a corner lot, a side fence is not allowed. In such cases, the fence must tie into the rear of the house with a minimum 1-foot offset.

Fences on corner lots that obstruct view of the front of an adjacent house shall be angled back to minimize the obstruction.



Fencing on Golf Course Lots

Only metal fences are permitted on lots backing to the golf course (see Metal Fence Detail). The fence shall be 5 feet in height and be set 2 inches from the natural ground.

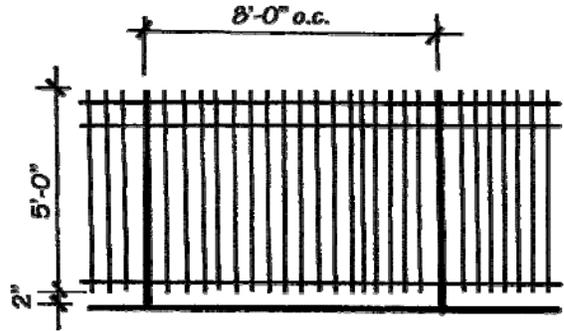
One 36-inch pedestrian gate may be placed in a fence backing on the golf course for the sole purpose of yard and fence maintenance. Double gates are prohibited. Scrollwork or ornate latches are not acceptable.

Fencing on Slopes

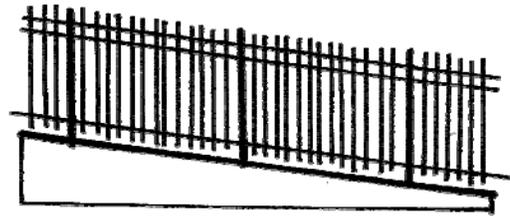
The preferred approach to transition grade changes with fencing is to install the fence parallel to the slope. (See Metal Fence Detail.)

Perimeter Fencing

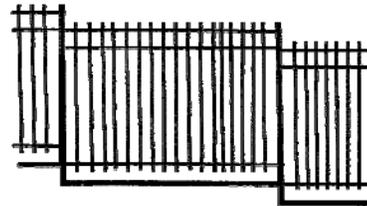
The Founder may construct fencing as it deems appropriate to enhance or protect areas within the development.



Golf Course Fence



Golf Course Fence on slope



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Prohibited

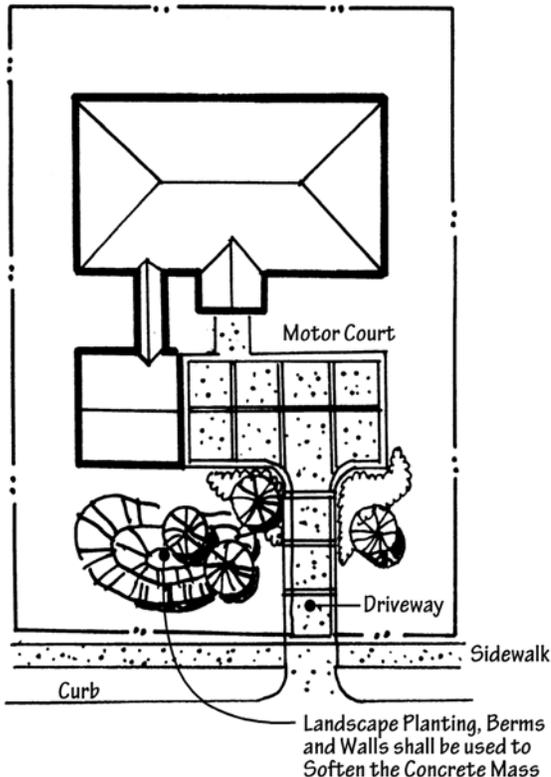
Garages, Driveways and Motor Courts

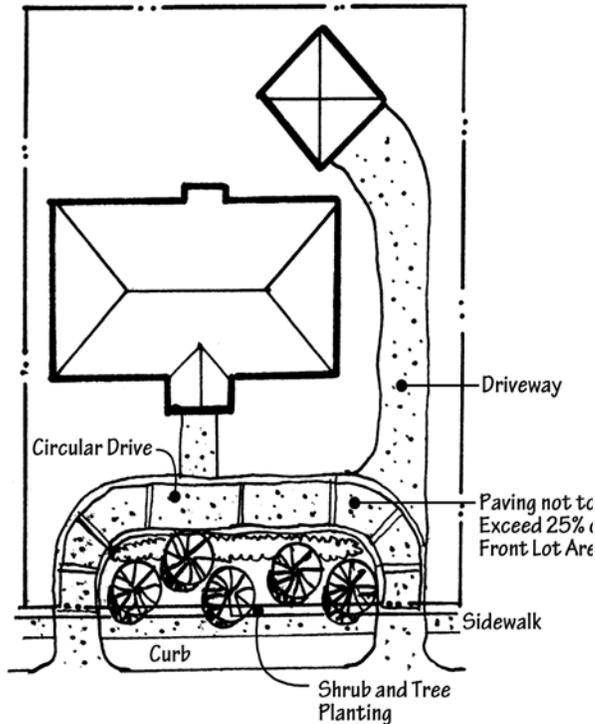
Every house must have a garage capable of parking at least 2 vehicles and a minimum of 4 off-street parking spaces, including the spaces in the garage.

Detached garages are not allowed on lots that are adjacent to the golf course.

Each house shall be served by a concrete driveway of a minimum thickness of 4 inches and a minimum width of 12 feet. Expansion joints shall be provided between the curb and driveway.

In custom neighborhoods, the use of stamped and colored concrete, interlocking pavers, exposed aggregate,





brick pavers and brick borders is encouraged.

Motor courts are encouraged. The use of various paving materials other than smooth finished concrete will provide visual interest. Motor courts should be designed in harmony with the architecture of the home.

Turnaround or circular drives are encouraged.

Under no circumstance may an entire front yard be paved as a driveway. A minimum of 75% of a front yard is to be planted in shrubs, ground cover, trees or turf.

Colored and stamped concrete, interlocking pavers, exposed aggregate, concrete with brick borders, and exposed aggregate concrete paving are encouraged.

Paving materials shall not abut the building foundation except at entry walk or garage approaches.

Golf Course Lots

Applications for review of new construction and modifications to structures and landscaping on golf course lots should address design elements to protect against the possibility of errant golf balls. Large pane glass windows are discouraged. If a great amount of glass is desired, it should be in smaller, easier to replace panes. Strategic placement and tree planting may add additional safeguards.

Height Restrictions

Lots bordering a golf course are subject to a 3-foot height restriction on all areas within 20 feet of the golf course. This height restriction applies to all structures or vegetation except native trees existing on the lot at the time of closing. Lots bordering a natural open area or habitat preserve may also be subject to height restrictions established by the Founder or Reviewer.

Patios and Porches

Concrete Patios

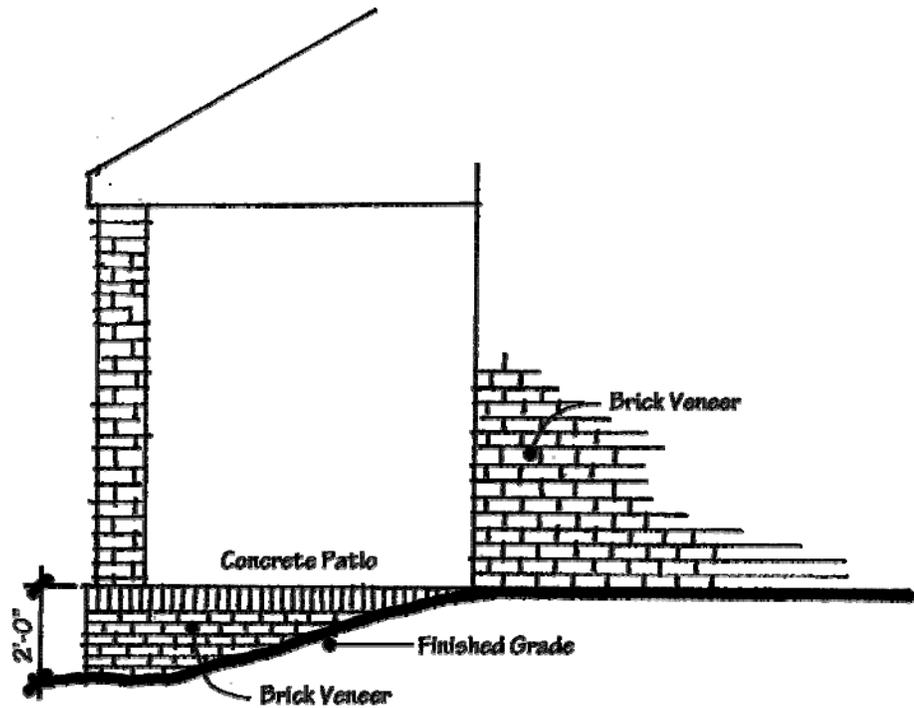
A concrete patio that has an exposed foundation that is greater than 2 feet in height shall be covered with masonry that matches the masonry on the house.

Covered Patios/Porches

Covered front and rear patios/porches are encouraged for design diversity. They create protection from the elements and a sense of individuality.

Covered patios and porches should be designed in harmony with the architecture of the home.

All patio/porch vertical posts are to be a minimum of 6" x 6". Roof material on the roof of porches and patios must be the same as that on the roof of the house.



Covered patios and porches must not encroach on any easement or building line.

Covered decks must be landscaped if not screened from view by a fenced yard. Flags or weathervanes shall not be erected on top of roof. High intensity spot lights/vapor lights shall not be attached to the structure. Decks must be maintained in good condition.

Man made screens and shade devices, if any, must appear as an integral part of the building elevation and must be made of materials that complement the home and neighborhood. Conversion of a deck or patio into a screened porch requires prior approval.

Pools and Spas

Pools constructed above ground are prohibited. Smaller, prefabricated, spas or hot tubs installed above ground are acceptable. Above ground spas or hot tubs visible from public view or from other lots shall be skirted, decked, screened or landscaped to hide all plumbing, heaters, pumps, filters, etc.

Privacy screens for pools or spas on golf course or greenbelt lots shall be set back a minimum of 20 feet from rear property lines and shall not exceed 30 feet in width parallel to rear property lines. Maximum privacy screen height shall not exceed 6 feet above existing grade. Screening material shall be masonry compatible with the residence, shadow box wood fence,, or other screening material approved by Reviewer.

Swimming pool appurtenances, such as rock waterfalls and slides, shall not be over 6 feet in height. Skimmer nets, long handle brushes, pool chemicals, filters, pumps, heaters, plumbing, etc. shall not be visible from public view.

Pool walls shall not encroach on utility easements. If pool plumbing is required in utility easements, contact local utility companies before digging. Wood or concrete pool decks may be placed on utility easements with permission from the utility company, but are subject to removal by utility companies.

Pool and spa drains must connect to the street drainage. Pools cannot be drained onto golf course, open space or any other property.

Pool enclosures may be permitted or denied on a case-by-case basis, depending on lot location, view of and from the golf course, and other factors within the discretion of the Reviewer.

All pool construction activities shall take place between the street and the rear lot line. No access is permitted through the golf course.

Rain Gutter Drains

Although gutters are not required, roof design or the use of diverters should keep dripping water off of patios, balconies, stairs, doorways, etc.

Positive drainage away from the house should be provided for rainfall, irrigation, air conditioner condensate and all other types of water runoff.

Down spouts on front of house are to be located to provide a clean, unobtrusive appearance. Down spouts should be terminated by either buried grates flush with ground or connection to the storm sewer. Down spouts drained into the yard should utilize “bubblers” placed no closer than 10 feet to the house foundation directing water away from foundation.

Roof drainage that will ultimately create erosion or run across pedestrian walks and paths is not acceptable.

Gutters and downspouts shall be integrated with architectural design in color, shape and location. Gutters and downspouts shall be painted the same color as trim.

Roofs and Rooftop Equipment

Primary residential roofing materials must be architectural asphalt shingles or other material approved by the Reviewer, in colors and textures which complement the balance of the colors and materials selected for a house. All main roof structures shall be a minimum pitch of 8” (rise) per every 12” (run).

Shingles are to be overlapped at valleys so that no valley flashing is exposed.

The roof, as an expressive design element, should be kept as visually unobstructed as possible. Mechanical and air conditioning equipment may not be mounted on the roof. Visible radio/television antenna, satellite dishes, and radio towers attached to the roof or are discouraged.

Vent stacks and other necessary roof penetrations shall be located away from public view. When possible, locate roof penetrations on the backside of the roof. All vent stacks and flashing are to be painted to match the color of the shingles. Gutters and downspouts must be painted to

match the fascia and siding of the structure. Roof penetrations shall be set no higher than the minimum code height.

Skylights shall not exceed three feet by five feet in size and shall be mounted on the backside of the roof so as not to be visible from the street. Skylights should be placed in locations so as not to detract from the building elevations.

Accessory Items

Animal Pens, Runs and Houses

There shall be no animal pens or dog runs of any kind in Kinderlou Forest. Dog houses are permitted as long as they match the majority of the main structure. Dog houses must be located a minimum of 6 feet inside property lines and they must be located behind the rear wall of the owner's house.

Basketball Goals

Freestanding basketball goals are to be mounted on poles embedded in sufficient concrete to maintain the goal in a vertical position. The backboard should be installed so that it is perpendicular to the street. The goal must be mounted on the lot a minimum of 100 feet from the back of curb. On lots with front setbacks of less than 100 feet, basketball goals are permitted in the rear yard only. All goal supports, backboards, rims and nets must be well maintained at all times and never violate side-building lines.

In homes with detached garages, goals must be located on garage, above door, or freestanding at least 25 feet behind front building line.

The minimum construction specifications are:

- The pole must be metal or 4" x 4" treated wood. Creosoted posts are not acceptable.
- The backboard must be commercially manufactured out of materials that will not weather, warp or disintegrate.
- Only a shooting square may be painted on the face of the backboard. Logo, if any shall not exceed 5% of the backboard area.
- Only white nets are acceptable.

Portable basketball goals are not permitted in streets at any time. Portable goals must always be set up a minimum of 11 feet behind the curb. Portable goals must be stored in the rear yard of the home or in the garage when not in use.

Flagpoles and Flags

One flagpole not to exceed 2 inches in diameter or 60 inches in length may be mounted on the front of the house. Permanent stand alone flagpoles are not allowed on residential lots in Kinderlou Forest.

Flags visible from the exterior of a dwelling may be hung only on flagpoles meeting the above criteria. Flags shall not exceed 4' x 8' in size. Only official flags of countries and seasonal decorative flags may be displayed; flags which display trademarks or advertising, and battle flags and similar flags which, in the Reviewer's judgment, are intended to, or tend to, incite, antagonize, or make political statements (other than a statement of citizenship or country of origin

of the residents of the dwelling), shall not be permitted. Flags shall be maintained in good condition and shall not be displayed if mildewed, tattered or faded beyond recognition.

Mailboxes and Lampposts

Mailboxes and lampposts or any alterations thereto, shall be subject to review by the Reviewer and may not be permitted under applicable governmental regulations. Materials used for mailbox construction shall match building materials used on the house. The Barcelona cast aluminum is an approved mailbox type.

Outdoor Furniture

Furniture shall not be used, stored or kept on the exterior portions of any lot except on patios, decks or porches. Furniture exposed to the weather shall be limited to such types as are designed and intended for outdoor use.

Outdoor furniture, including park benches and porch swings, must be well-maintained and in harmony with the exterior design and color of the house. Outdoor furniture shall be black, brown, forest green and bronze as acceptable colors as well as a color nearest to the darkest color of the exterior of the home. Outdoor furniture must not be located in the front yard on any lot, and must not be located in the visible side yard on any corner lot.

Play Structures

Play structures shall be earthtone colors to blend with the environment and made of metal, treated wood, cedar, redwood or treated wood painted to be in harmony with the existing home. Platforms of play structures shall not exceed a height greater than four feet from the original lot grade. The maximum allowable height for any one part of the play structure is nine feet from the original lot grade. The footprint of the structure shall be no larger than 100 square feet, with the maximum length being no more than 14 feet in any direction. No portion of the structure shall be a closer than 10 feet from any fence line or property line, and must be placed inside any existing fence.

Play structures of any type are not permitted in the front or side yards. In the case of a corner lot, any play equipment or structures to be installed in the rear yard must be screened from public view by landscaping or fencing.

Any canvas exposed to public view shall be solid earthtone colors only. Dayglow (or fluorescent) and bright colors are not permitted.

Prohibited Structures

Greenhouses, sheds, guest houses, and tents of a permanent nature are prohibited on lots. Storage buildings are discouraged, but may be permitted under special circumstances in the discretion of the Reviewer if they match the architectural style, building materials, and paint colors of the house.

Statues, monuments, ornaments, water features or similar objects taller than 3 feet in height that are visible from the street or by neighbors are prohibited on lots.

Clotheslines or clothes poles are prohibited.

Satellite Dishes and Antennae

Permitted Devices

No satellite dishes, antennas or similar devices designed for transmission or reception of radio, television or other broadcasts of any kind are permitted on any lot without prior approval, except that the following "**Permitted Devices**" may be installed on a lot without application or prior approval, provided they are installed in strict compliance with this section:

- antennae or satellite dishes designed to receive direct broadcast satellite service which measure one meter or less in diameter;
- antennae or satellite dishes designed to receive video programming services via multi-point distribution services which are one meter or less in diameter or diagonal measurement; or
- antennae or satellite dishes designed to receive television broadcast signals

Location

A Permitted Device may be installed solely on the owner's lot and shall not encroach upon any street, Common Area, or any other owner's lot.

A Permitted Device shall be installed in that location on the lot from which an acceptable quality signal can be obtained which is least visible from the street, from other lots, and from public view. In order of preference, the locations considered to be least visible are:

- In the back yard, on the ground or elevated no higher than 12 feet off of the ground if necessary to obtain an acceptable quality signal, and screened from view of adjacent lots and the street; then
- In the side yard, on the ground or elevated no higher than 12 feet off of the ground if necessary to obtain an acceptable quality signal, and screened from view of adjacent lots and the street; then
- Attached to the back of the house, with no part of the Permitted Device any higher than the lowest point of the roofline and screened from view of adjacent lots and the street; then
- Attached to the side of the house, with no part of the Permitted Device any higher than the lowest point of the roofline and screened from view of adjacent lots and the street.

Mast Installation

Mast height may be no higher than absolutely necessary to receive an acceptable quality signal. For safety reasons, the location of any mast that must extend more than 12 feet above the ground is subject to application and prior approval of the Reviewer. Any such application must include a detailed description of the structure and anchorage of the antenna and the mast. If this installation will pose a safety hazard to residents of adjacent properties, then the Association may prohibit such installation. The notice of rejection shall specify these safety risks.

Masts must be installed by a licensed and insured contractor.

Masts must be painted the appropriate color to match their surroundings.

In order to minimize hazards to persons and property if the mast were to fall during a storm or from other causes, masts shall not be installed nearer to the lot line than the total height of the mast and antenna and any structure on which it is mounted.

Signage

Signs shall not be placed so as to be visible from the outside of a dwelling on a lot with the exception of:

- One temporary “For Sale” or “For Rent” sign placed on the lot being advertised “For Sale” or “For Rent.” The sign shall be limited to a maximum face area of five square feet on each visible side and, if freestanding, is mounted on a single or frame post. The overall height from finished grade at the spot of the sign may not exceed four feet. The sign must be removed within two working days following the closing of the property or the termination of the listing agreement.
- One small security service sign per house, with a recommended sign face area of one square foot, located adjacent to the mailbox or driveway.
- Such permits as may be required by legal proceedings.
- Such permits as may be required by governmental entity.
- One contractor's identification sign meeting the requirements set forth in these Design Guidelines under the heading "Construction Rules."

Residents shall be permitted to post “no soliciting” signs near or on the front door. Any such sign shall not exceed a size of 25 square inches. Color of sign shall be as commercially available.

Trash Containers

Trash containers and recycling bins must be stored in one of the following locations:

- Inside your garage
- Behind your home so that the house blocks the trash container from view from the street
- Along the side of your home, provided they are set back at least 10 feet from the front façade of the home.

On corner lots the trash containers should be stored on the side of the home opposite from intersecting street.

In addition to the above requirements, additional screening is encouraged to further screen trash containers from view by neighbors.

Storm Windows and Doors

Storm doors and windows must be full-view glass. No screen doors are permitted on the front of homes.

Woodpiles

Woodpiles are permitted only in the rear yard of residences and shall be screened by adequate planting and/or fencing so as to be concealed from view of neighboring property and streets.

Landscape Guidelines

Foundation Plants and Planting Beds

All plantings should be planted with the appropriate topsoil, additives and fertilizer mixtures. The use of only on-site soil is prohibited.

Planting beds are to be curvilinear with the shrubs massed in tiers. Smaller shrubs and ground cover are to be placed in the front of the bed. Larger shrubs shall be placed in the rear of the bed. Groupings of shrubs of the same species provide a substantial look.

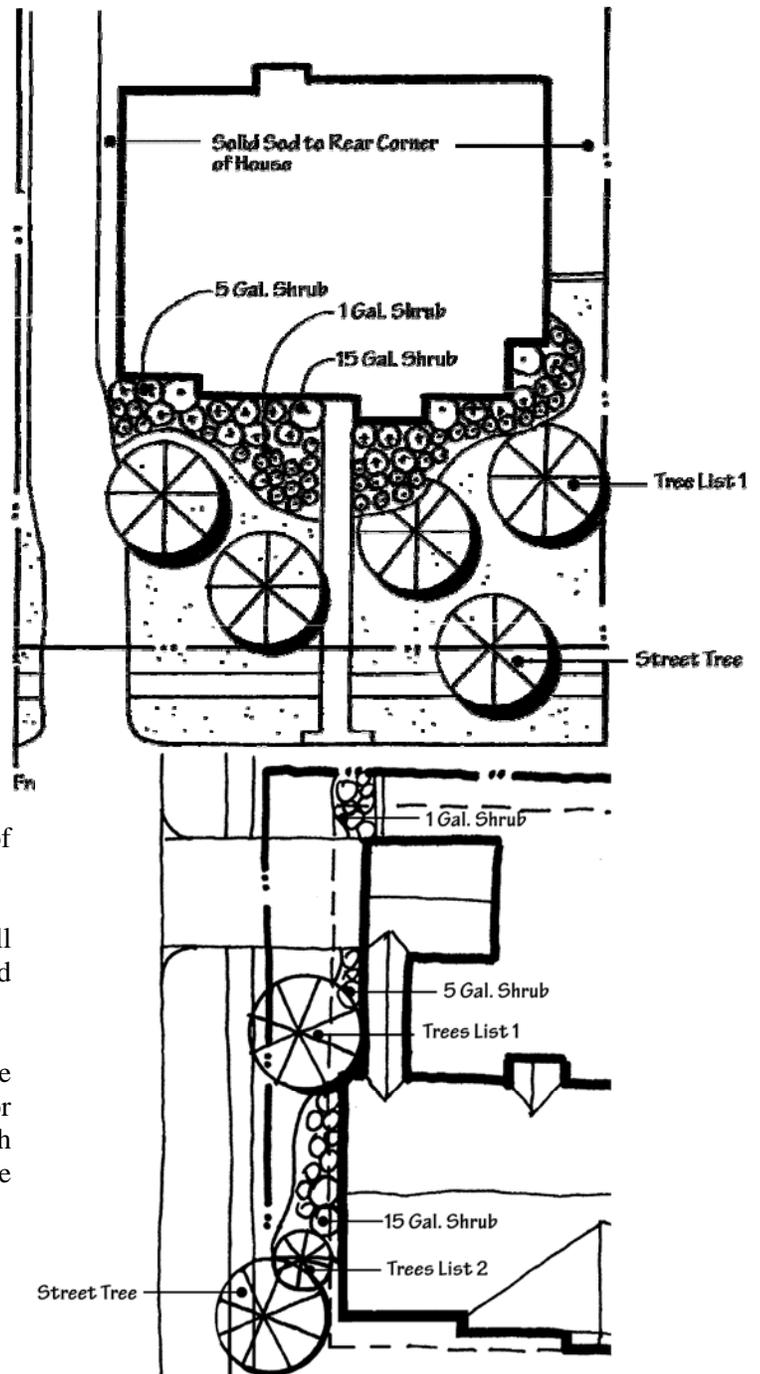
Large trees and shrubs should be planted no closer to the foundation than twice the diameter of the root ball of a mature plant.

Avoid planting foundation shrubs at a constant distance from the foundation.

Radius beds should be placed 8 feet minimum from the house. Widths of the beds should vary. A single row of foundation planting is not acceptable.

No bare ground is acceptable. Mulch all planting beds with 2 inches deep shredded hardwood mulch or pinestraw.

Gravel and rock may be used at drip line of house, but is not permitted for use or substitution for shrubs, ground cover, mulch or grass lawns. Specimen boulders are permitted upon review of the plan.



Sideyard Planting for Typical Lots

Lawns

All grass visible to the public shall be centipede grass. Front yards of all houses shall be fully sodded. Rear yards of houses backing to the golf course shall be fully sodded prior to house closing. Rear yards of homes that do not back to the golf course shall be fully sodded within 30 days of house closing.

All yards shall be fully irrigated. All custom home lots shall be fully vegetated and irrigated.

Lawns may be "overseeded" with rye grass (maintained to 2-1/2" height). Yards concealed by wood fences may be sprigged. No gravel or rock is permitted for ground cover, mulch or substitute for grass lawn when visible from public view.

Corner Lots

Corner lots that do not have landscape reserves or easements shall be required to soften long walls or fences with landscaping. Fences shall be setback at least 12 feet from the sidewalk to allow for landscaping and visual space.

Fences on corner lots that are 30 feet long shall have a planting buffer between the fence and the sidewalk to soften the look.

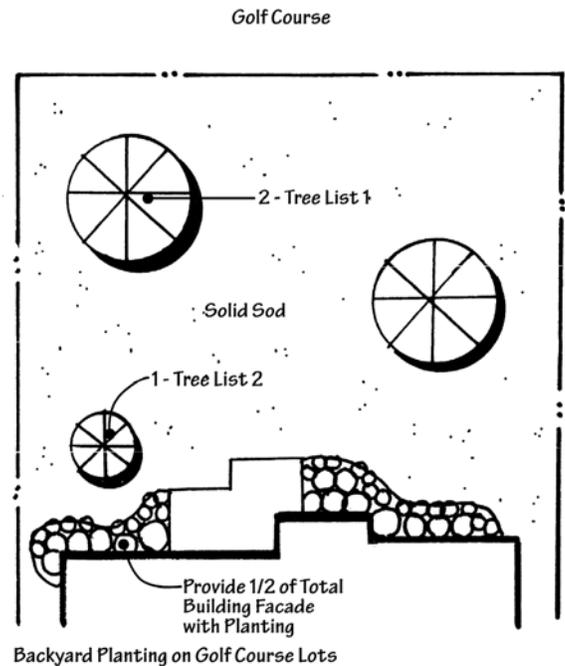
A 35-foot by 35-foot sight distance triangle is required. Make sure planting does not violate this requirement.

Minimum Landscape Requirements

All lots shall be landscaped with a minimum number of trees and shrubs of the sizes and types specified in the following tables, as applicable:

Front Yard of All Lots								
Front Lot Width		Min. # of Trees		Min. # of Shrubs				
From	To	Min. 4" Caliper* From List 1	Min. 2" Caliper* From List 1	30 gal	15 gal	7 gal	3 gal	1 gal
70'	88'	1	1		3		20	40
89'	120'	1	1	2	4	12	15	60
>120'		2	2	4	6	20	13	80

*Caliper measured 12" from base of tree



Side Yard on Corner Lots								
Front Lot Width		Min. # of Trees		Min. # of Shrubs				
From	To	Min. 4" Caliper* from List 1	Min. 2" Caliper* from List 2	30 Gal	15 Gal	7 Gal.	3 Gal.	1 Gal.
70'	88'	1	1		3		15	30
89'	122'	1	1		3		23	45
>122'		2	2	4	6		20	80

*Caliper measured 12" from base of tree

Rear Yard with Metal Fencing or Public View								
Front Lot Width		Min. # of Trees		Min. # of Shrubs				
From	To	Min. 3" Caliper* from List 1	Min 2" Caliper* from List 2	30 Gal	15 Gal	7 Gal.	3 Gal.	1 Gal.
70'	88'	1	1		2		15	30
89'	122'	2	1		3		23	45
>122'		3	2		4		30	60

*Caliper measured 12" from base of tree

Primary Plant Material

Plants used to satisfy the minimum plant requirements above shall be selected from the following list considered to be appropriate for Kinderlou Forest. These plants have been chosen for their natural or adaptable qualities, their function in the landscape, and their availability in nurseries. Any existing trees that are included in the following list may be used to meet the minimum landscape requirements. Approximate location of existing trees must be shown on site plan.

Shade Trees (List 1)

Bald Cypress - Taxodium distichum	Pine	Overcup Oak
Burr Oak - Quercus macrocarpa	Water Oaks	Dawn Redwood
Cedar Elm - Ulmus crassifolia	Maple	
Live Oak - Quercus virginiana	Sweet Gum	
Magnolia - Magnolia sp.	Tulip Poplar	
Monterrey Oak – Quercus polymorpha	River Birch	
Pecan – Carya illinoensis	Allee Elm	
Nutall Oak	Drake Elm	
Shumand Oak	Willow Oak	

Ornamental Trees (List 2)

Evergreen Holly – Ilex opaca

Crape Myrtle – Lagerstroemia indica
 Redbud – Cercis Canadensis
 Yaupon Holly – Ilex vomitoria
 Evergreen Chinese Elm – Ulmus parvifolia

Dogwood
 Weeping Willow
 Japanese Maple
 Chaste Tree

Foundation Shrubs

"Clara" Indian Hawthorn - Raphiolepis indica
 Dwarf Yaupon - Ilex vomitoria 'Nana'
 Primorse Jasmine – Jasminum mesnyi
 Maiden Grass – Miscanthus sinensis
 Dwarf Burford Holly – Ilex cornuta 'Burfordii Nana'
 Green Cloud Sage – Leucophyllum frutescens 'Green Cloud'
 Sago Palm

Azaleas
 Lorepetalum
 Boxwood
 Ligustrum
 Camelias
 Sasanqua
 Pittosporum

Ground Covers

Asian Jasmine - Trachelospermum asiaticum
 Japanese Star Jasmine – Trachelospermum japonicum
 Monkey Grass - Mondo japonica
 Lily Turf - Liriope muscari
 Creeping Rosemary – Rosmarinus sp.

Additional Plant Material

The following is a list of additional plant material considered to be appropriate for Kinderlou Forest, but does not count toward the minimum required plantings. Other plant material may be used, but priority should be given to plants from this palette. The use of golden euonymus, because of growth characteristics and susceptibility to disease, is discouraged. Arborvitae, Italian cypress, junipers (other than ground cover varieties) yucca, cactus and bamboo are not in character with the plant palette and are discouraged and may be cause for rejection of plans.

Trees

Bradford Callery Pear
 Chinese Pistache
 Georgia Pistache
 Wax Myrtle

Palm Trees may be used at the discretion of the design reviewer. Palm Trees do not count as part of required landscaping.

Shrubs

<u>Type</u>	<u>Recommended Spacing</u>
Abelia	40" o.c.
Banks Rose	Specimen
Cleyera	30" o.c.
Dwarf Crape Myrtle	24" o.c.
Dwarf Wax Myrtle	36" o.c.
Dwarf Pittosporum	24" o.c.
Dwarf Pyracantha	24" o.c.
Fatsia	24" o.c.
Floribunda Rose	Specimen
Fountain Grass	
Indian Hawthorn - CSnow White, Jack Evans	30" o.c

Italian Jasmine	60" o.c.
Muhly grass	
Nandina	30" o.c.
Oleander	60" o.c.
Pampas Grass	60" o.c.
Pineapple Guava	Specimen
Pittosporum	42" o.c.
Possum Haw	Specimen
Georgia Silverleaf sage	24" o.c.
Variegated Pittosporum	36" o.c.

Ground Cover & Vines

<u>Type</u>	<u>Recommended Spacing</u>
Ajuga	6" o.c.
Algerian Ivy	12" o.c.
Boston Fern	12" o.c.
Carolina Jasmine	12" o.c.
Chinese Star Jessamine	12" o.c.
Chinese Wisteria	Specimen
Climbing Fig	12" o.c.
English Ivy	12" o.c.
Holly Fern	12 - 18" o.c.
Honeysuckle	18" o.c.
Japanese Star Jasmine	12" o.c.
Lamb's Ear	12" o.c.
Liriope	8" o.c.
Monkey Grass	8" o.c.
New Gold Lantana	18 - 24" o.c.
Trumpet Creeper	Specimen
Wood Fern	12" o.c.

Annuals & Bulbs

Spring & Summer:

Amaryllis
 Begonias
 Bluebonnet
 Daylily
 Dusty Miller
 Impatiens
 Lily of the Nile
 Marigolds
 Periwinkle (Vinca)
 Petunias
 Portulaca
 Purslane
 Rain Lily
 Salvia
 Verbena

Fall & Winter:

Chrysanthemum
 Daffodil
 Pansies
 Tulip

Grass

Centipede - Solid Sod

Irrigation

All houses shall have an automatic yard irrigation system sufficient to provide proper amounts of water to maintain a green, healthy lawn and landscaping within the entire yard. Systems should have a rain sensor override switch.

Sprinkler heads should be located to effectively water the landscaped area with even, 100% coverage and minimum overthrow onto pavement, walks, and adjacent property. The system should be designed and controlled to deliver a maximum of 10 gallons of water per minute to each irrigation zone.

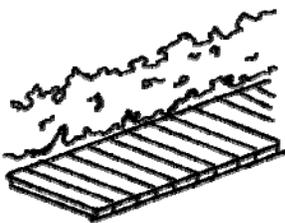
Sprinkler systems should have one zone dedicated to the entire perimeter of the slab.

Planting Beds - Edges

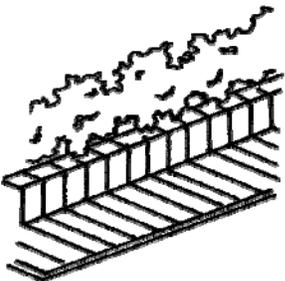
Planting bed edging is not required, but is encouraged for maintenance purposes and to define the shape of planting beds. Edging that will be conducive to easy maintenance with string eaters or powered edgers should be considered.

Railroad ties, landscape timbers, scalloped concrete borders, etc. are not acceptable with the desired landscape effect. Edging shall not compete with the visual quality of planting beds, but enhance its appearance.

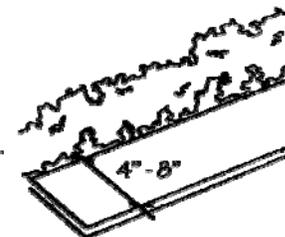
Preferred



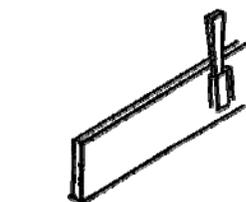
Brick Rowlock with Mortar Joint



Brick Rowlock with Soldier Course

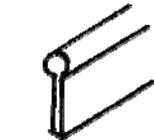


Concrete Band



Ryerson Steel Edging

Prohibited



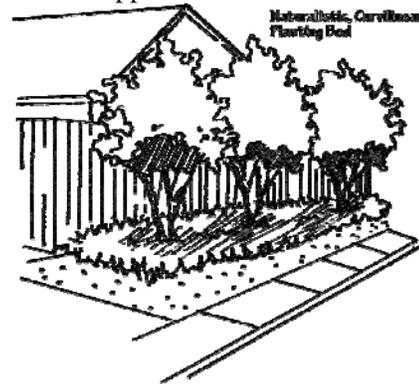
Black Plastic



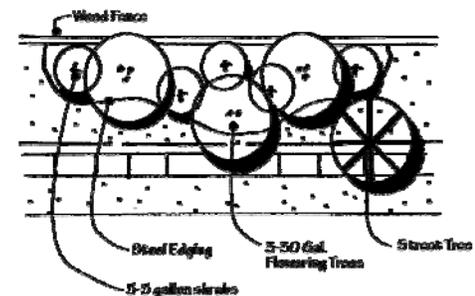
Railroad Ties



Landscape Timbers



Naturalistic, Curvilinear Flowering Bed



Wood Fence

Steel Edging

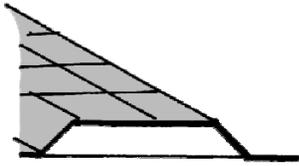
5-50 Gal. Flowering Trees

Shrub Tree

5-5 gallon shrubs

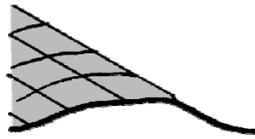
Grading

Prohibited



Abrupt Angles

Preferred

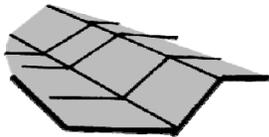


Smooth Transition

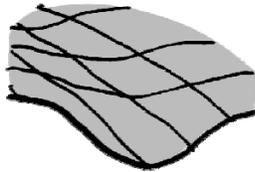
Berms are to be graded in gentle, undulating naturalistic forms, and not straight or steep slopes. Provisions are to be made for drainage around or through berms as required. Generally, a height of 48 inches from top of adjacent curb is the maximum desired.

Swales (small ditches) are to be graded shallow, but wide to slow runoff. Avoid steep cuts for natural look.

Steep slopes of 2.5: 1 or more should be broken with retaining walls or steps. Terracing of lawns is encouraged, especially in front yards. All retaining walls shall be submitted to and approved by the DRC prior to construction.



Steep Slopes



Undulating Cut



Slopes in Excess of 2.5:1



Retaining Wall

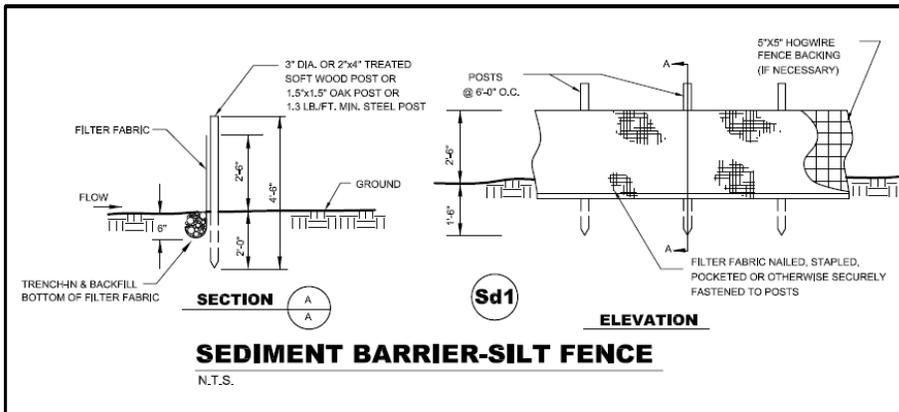
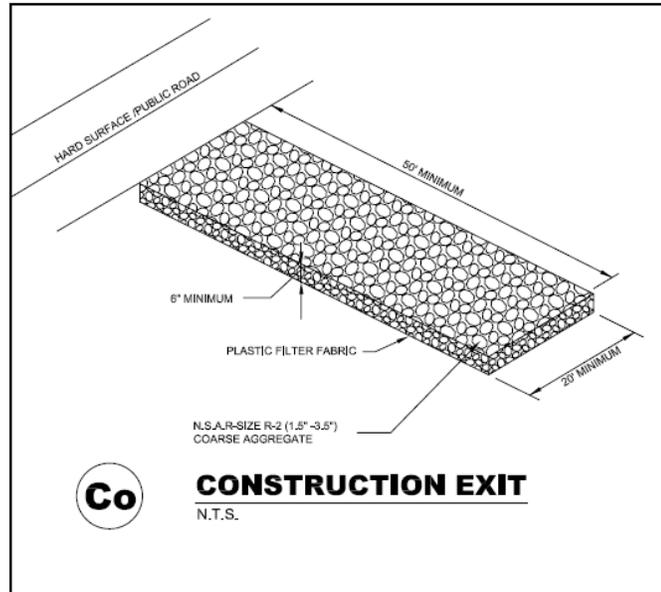
Construction Rules

Construction Site

The Owner or its contractor shall be responsible for installation of a temporary gravel construction entrance/exit on the job site and required silt fencing prior to commencing any construction.

Silt fencing shall be installed on the lower portion of the disturbed area in accordance with the detail provided with plan approval.

All construction sites shall be kept in a neat and orderly condition, free of debris, rubbish, and unused material. Each Owner shall be responsible for the condition of his or her construction site and must check with local authorities concerning requirements for construction fencing and other safety measures that may be applicable to the project.



All modification projects expected to require more than two weeks of construction time must be screened from the street in order to prevent an unsightly neighborhood situation. All

screening materials are subject to prior approval by the Reviewer.

Temporary Structures

Installation of temporary structures such as construction trailers or storage buildings is prohibited.

Utilities

Contractors must use only the utilities provided on the immediate site on which they are working, unless other formal arrangements have been made and notice given to the Reviewer.

Contractors are responsible for arranging for, and the cost of repairing, any damage to telephone, cable TV, electrical, water or other service lines resulting from the activities of themselves or their subcontractors.

Hours of Construction

Construction activity is permitted Monday through Saturday from 7:00 a.m. until 7:00 p.m. Advance permission from the Reviewer is needed for work or material deliveries at other times. Work may be prohibited on certain holidays.

Contractor Advertising

One general contractor identification sign may be installed on a Unit after completion of clearing and grading identifying the contractor responsible for constructing the home on the Unit, provided that:

- the sign conforms to the drawing and specifications below;
- all permit boxes are attached to the back of the sign
- the sign is not placed on Unit until construction begins; and
- the sign is located 15' from the back of the curb, centered between the side lot lines.

Any contractor's sign shall be removed within 24 hours of the closing of the sale of the Unit and prior to release of the contractor's construction deposit..

No other signs or displays are permitted on a job site except as expressly authorized in these Design Guidelines. Unauthorized signs or displays may be removed without warning.

